

RESIDENTIAL DECKS / PORCHES

*A Building permit is required for any alteration or addition to any existing building or structure. *MN State Building Code Section 1300.0120 Subpart 1*. NOTE: We require contractors and homeowners to allow 10 working days to review your plans. When the review process has been completed the City Building Department will contact you and at that time you will pay any applicable permit fees and be allowed to commence work on your project. No work shall be started without prior approval by the Building Official.

PERMITS: A building permit is required for construction of deck or porch that is more than 30" above grade. Decks 30" or less built over any basement or story below also requires a building permit. For all other decks 30" or less a zoning permit is required. **Decks that are attached to a structure with frost footing regardless of height will also require a building permit. MN Building Code 1300.0120** **Decks requiring a zoning permit are not required to adhere to the Minnesota Residential Code, but it is highly recommended** Call Gopher State One at 1-800-252-1166 to identify utility locations prior to digging! Utility Service Line Relocation:

PERMIT APPLICATION: Permit application must contain the following:

1. Plot drawing that indicates:
 - a. Location of house
 - b. Future deck/porch
 - c. Distance to all lot lines
2. Plan drawing that indicates:
 - a. Size and layout of deck/porch
 - b. Size of footings, posts, beams, joists, and decking. (See attached form)

Frost Footings: Footings are required for any deck attached to a dwelling or any other structure that has frost footings. The minimum depth to the base of the footings is 42 inches. The base of a column footing must be flared, or extended, at least 4 inches greater in diameter than the remainder of the column. Cedar posts must be protected against direct contact with the ground, concrete, or moisture.

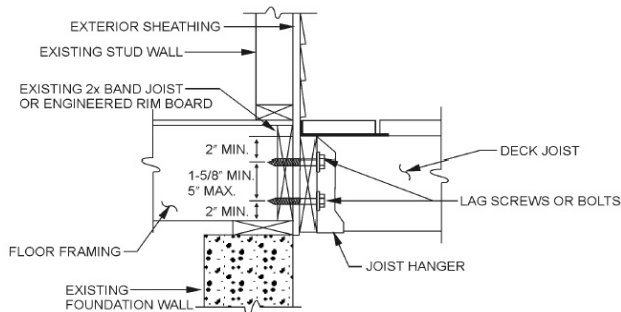
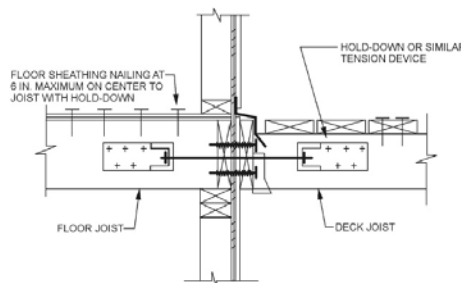


FIGURE R507.2.1(2) PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS



Lateral load connection: The lateral load connection required by [Section R507.1](#) shall be permitted to be in accordance with Figure R507.2.3. Where the lateral load connection is provided in accordance with Figure R507.2.3, hold-down tension devices shall be installed in not less than two locations per deck, and each device shall have an allowable stress design capacity of not less than 1500 pounds (6672 N).

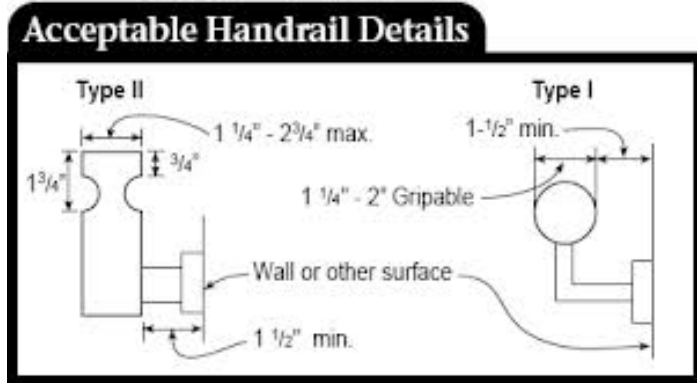
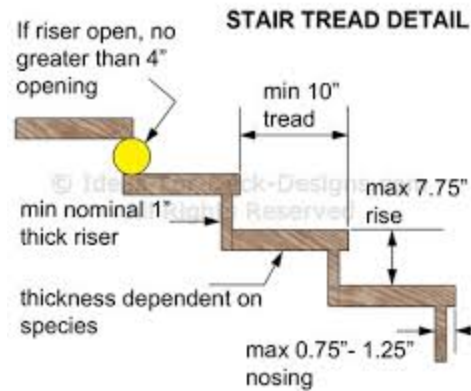
Flashing: All connections between deck and dwelling shall be weatherproof. Any cuts in the Exterior finish shall be flashed. Flashing of the ledger at the point of connection to the house is Especially critical. R703.8

Cantilevers/Overhanging Joists and Beams: Joists should not overhang beams by more than 2 feet, and beams must not overhang posts by more than 1 foot.

Stairs: Minimum width is 36 inches. Maximum riser height is 7 $\frac{3}{4}$ inches. Minimum tread depth is 10 inches. Treads with a depth less than 11 inches must have compliant nosing. Largest

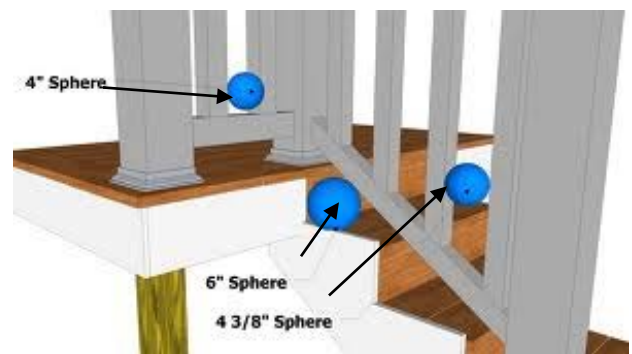
tread depth or riser height shall not exceed the smallest by more than $\frac{3}{8}$ inch across the run of the stairs. Treads shall be level, (a slope no greater than 2% is permitted). R311.5 Lighting

capable of illuminating the treads and landings is **required**, shall be located in the immediate vicinity of the top landing, and may be activated from inside the dwelling. R303.7



Handrails: Stairways having 4 or more risers shall have at least 1 handrail. The top of the handrail shall not be less than 34 inches or more than 38 inches above the nosing of the treads. Handrails shall be continuous for the full length of the stairs shall protrude from the adjoining surface by at least 1 1/2 inches, but no more than 4 1/2 inches, and the ends shall be returned or terminated into posts. Handrails with a circular cross section shall have an outside diameter of not less than 1-1 1/4 inches or more than 2 inches

Guardrails: A guardrail is required on all decks, or any portion of a deck, more than 30 inches above grade or above a lower deck. Deck guardrails must be 36 inches high. Open guardrails on decks must have intermediate rails (balusters) or an ornamental pattern that a 4 inch sphere cannot pass through. Guardrails on stairs cannot have an opening between balusters that a 4 3/8 inch sphere can pass through. R312.1



Landings: There shall be a landing at the top and bottom of stairs. Landings must be as wide as the stairs they serve, have a minimum length of 36 inches in direction of travel. 311.7.6 Floor landings at Ext Doors shall comply with section R311.3

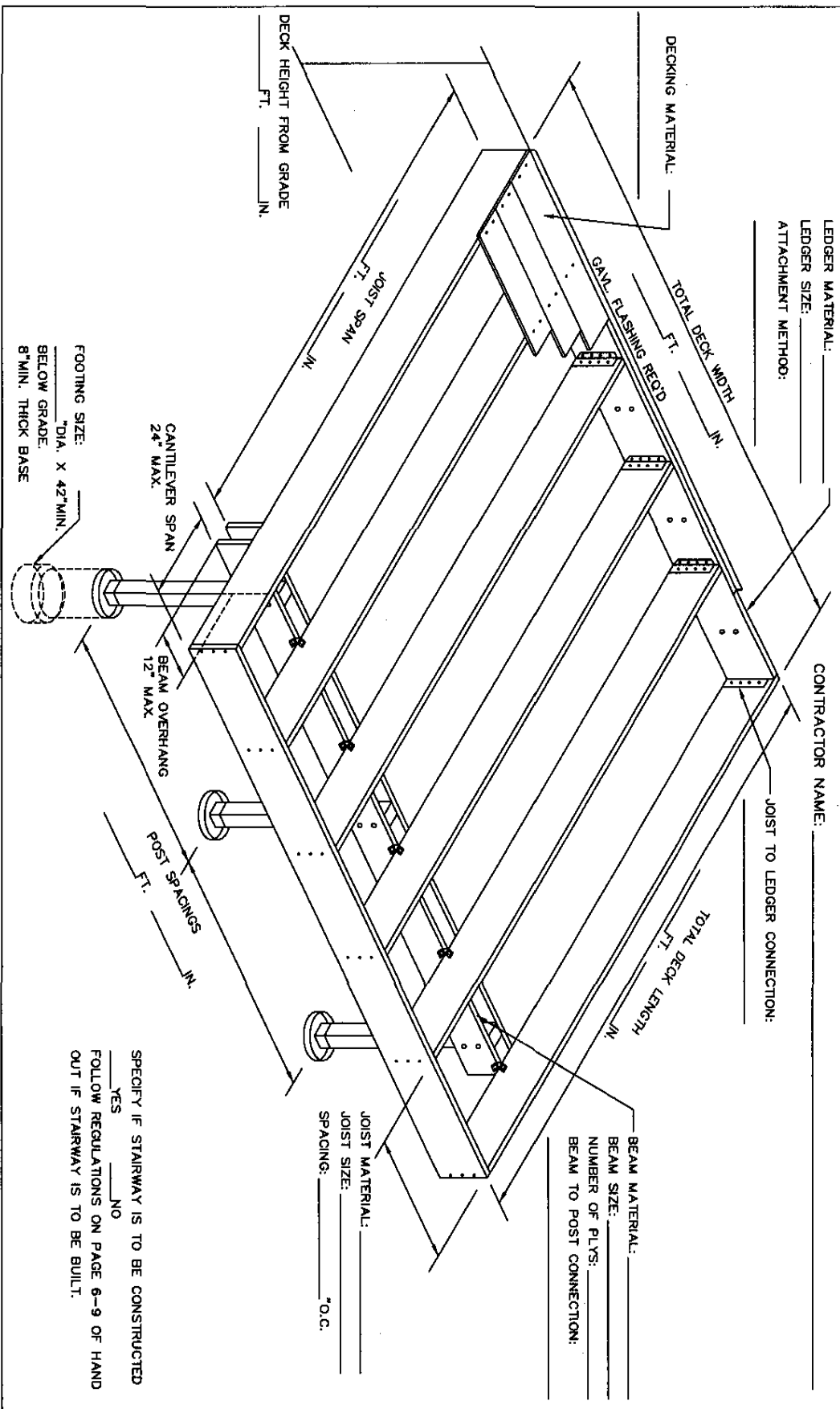
Wood Required: All exposed wood must be approved, treated material. Grade stamps and tags must be visible and must meet the exposure criteria to which they will be subjected (above ground, ground contact, etc.). R317 Untreated or landscaping-type materials will be rejected. Cedar and redwood are also approved; however cedar cannot be in direct contact with either soil or concrete. OTHER DECK MATERIALS (composites, plastic, etc.) MUST BE LISTED BY AN APPROVED EVALUATION SERVICE AND APPROVED BY THE BUILDING OFFICIAL.

The language and depictions in this hand out is meant as a guide for the construction and building process and may not contain exact code language. For exact code language, you may go online at www.revisor.mn.gov or contact the Olmsted County Planning dept. 507 328 7100 for exact building code language.

DECK PLAN

LEADER MATERIAL: _____
 LEDGER SIZE: _____
 ATTACHMENT METHOD: _____

SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE: _____
 LOCATION OF WORK TO BE DONE: _____
 CONTRACTOR NAME: _____



SPECIFY IF STAIRWAY IS TO BE CONSTRUCTED
 YES _____ NO _____
 FOLLOW REGULATIONS ON PAGE 6-9 OF HAND
 OUT IF STAIRWAY IS TO BE BUILT.

PLOT PLAN

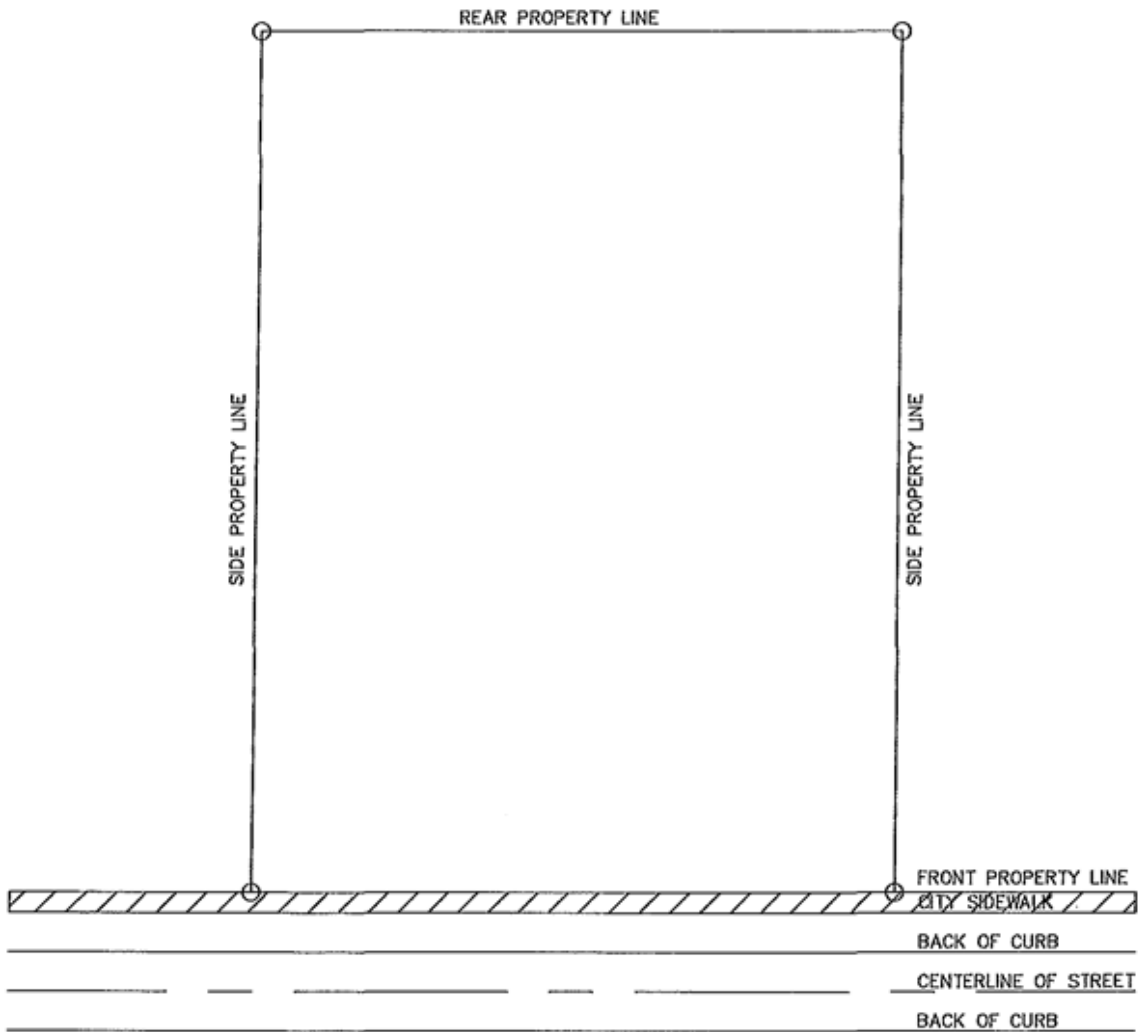
ADDRESS/City/St/Zip: _____

LEGAL DESCRIPTION: _____
LOT BLOCK SUBDIVISION

INSTRUCTIONS TO APPLICANT:

FOR NEW BUILDINGS AND BUILDING ADDITIONS THE FOLLOWING INFORMATION MUST BE PROVIDED:

- 1) Location of proposed construction and existing improvements.
- 2) Show buildings (square footage) and setback distances of existing buildings and new structures.
 - a) How far the new building will be away from the front property line.
 - b) How far the new building will be away from the side property line.
 - c) How far the new building will be away from the rear property line.
 - d) How far the new building will be away from existing structures.
- 3) Show easements.
- 4) Indicate whether property is a corner lot.
- 5) Show street and avenue location.



SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE: _____

The language & depictions in this hand out is meant as a guide for the construction code & building process and may not contain exact code language. For exact code, you may go online at www.revisor.mn.gov or contact the Olmsted County Planning Department, 507-328-7100.